

# **HISTORIC RESOURCES REPORT**

**for**

**8442 Santa Ana Road**  
**(APN 060-0-220-150)**

Ventura County, California

Prepared for

**Nye Ranch**

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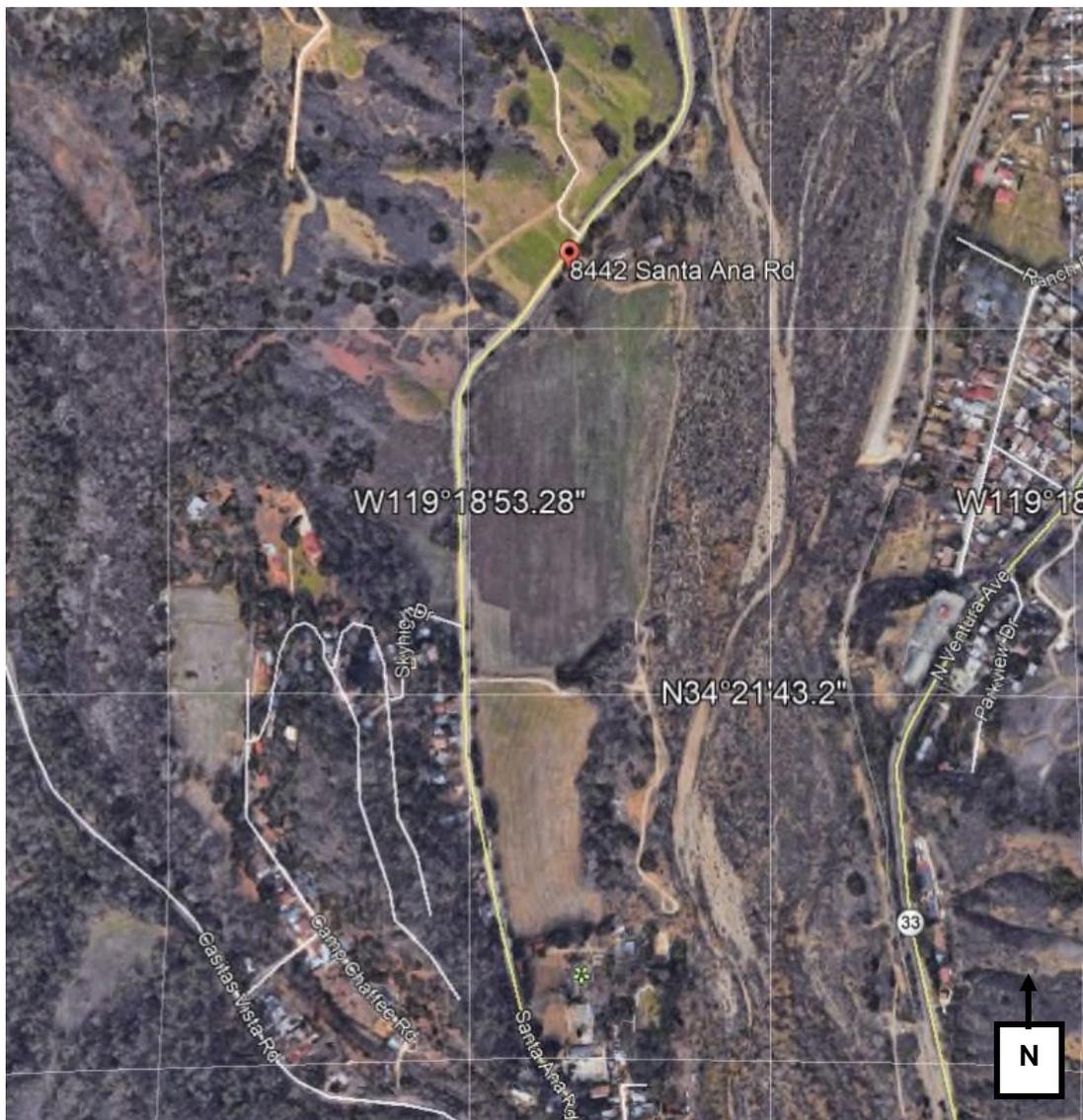
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## 1.0 INTRODUCTION

This Historic Resource Report is for a property at 8442 Santa Ana Road in Ventura County, California (Map 1, Assessor Parcel Map & Map 2, Aerial Photograph). The purpose of the study is to provide information to County of Ventura Planning staff to assist in compliance with the California Environmental Quality Act (CEQA) and the County of Ventura Initial Study Assessment Guidelines (ISAGs) for historic resources. This report provides information regarding a proposed project at 8442 Santa Ana Road (APN 060-0-220-150). The study property is located near Foster Park, in an unincorporated area of Ventura County, California (see Figure 1). The study property is one of eight parcels that make up the Nye Ranch property (APN 060-0-220-150, APN 060-0-220-270, APN 061-0-171-150, APN 061-0-171-160, APN 061-0-171-170, APN 061-0-171-265, APN 061-0-172-010, and APN 035-0-140-010). APN 060-0-220-275 is contiguous with the study parcel at APN 060-0-0220-150, while the other six parcels are not. This report, prepared for Nye Ranch by Pamela Post, Ph.D. (primary author) and Timothy Hazeltine of Post/Hazeltine Associates is confined to APN 060-0-2200150, which is the location of the proposed project.

(see next page)





**Location Map 2, Aerial photograph of project area**

The proposed project includes the following (see Appendix A for project plans):

Rehabilitate the interior and exterior of the house, which would include the following:

- Receive approval and permits for as-built alterations, including replacement of the fenestration, foundation repair and partial rebuilding of two porches;
- Receive approval to address structural deficiencies that have resulted in a section of the entrance façade to lean;
- Receive approval for proposed plans to repair existing siding and architectural trim work to retain or match the original materials;
- Receive approval and permits to recreate missing elements of the exterior porches, including trim work and balcony railings to match the original;

- Receive approval and permits for completion of foundation repairs, including installation of French drains; and

Receive approval and permits for repair of the building's interior, including upgrading of mechanical systems and repair of damaged walls, doors, flooring, and trim work.

## 2.0 SUMMARY OF FINDINGS

### Previous Assessments and Designations

The study parcel has not been previously surveyed for the presence of historic resources.

### Findings of this Report

This study evaluates the property for the presence of potential historic resources. After confirming the presence of historic resources and defining a potential boundary for the resource, the report evaluates potential project impacts by applying the criteria set forth in the County of Ventura Initial Study Assessment Guidelines.

#### Significance Findings:

The following buildings, structures, features and designed and vernacular landscape features located at 8442 Santa Ana Road (APN 060-0-220-150) are potential historic resources for the purposes of environmental review (Figure 1):

- House;
- Barn/garage
- "Dairy"
- Vernacular and designed landscape

#### Summary of Project Impacts:

While most aspects of the proposed project meet the Secretary of the Interior's Standards for Rehabilitation, the as-built replacement of the original fenestration and dismantling of remnants of the porch and veranda did not fully meet Standards 2, 5, 6, because of the potential loss of what may have been repairable historic fabric. The impacts of these changes were reduced by the insertion of replacement windows that match the original windows in dimension (except for the width of the muntins) placement, material, and pattern of divided lights. To ensure the proposed rehabilitation plan adheres to the Secretary of the Interior's Standards for Rehabilitation several measures outlined below are recommended:

- To ensure consistency with Standard 6 the following measure shall be implemented: Provided the thicker muntins are required for code compliance (as the windows are replacements rather than originals) the replacement windows can be retained.
- The architect and contractor shall consult with a County of Ventura-approved historian to review replacement of interior trimwork, architectural detailing, and doors to minimize loss of historic fabric. The intent of this measure is to maximize the retention of

historic building materials, which convey the building's original appearance and historical associations;

- The architect and contractor shall consult with a County of Ventura-approved historian to review replacement of interior plaster work. The intent of this measure is to maximize the retention of wall surface materials, which help convey the building's original appearance and; and such as paint removal or repainting as well as any repairs to brick masonry, shall follow the guidance set forth in Preservation Brief 6: "Danger of Abrasive Cleaning to Historic Buildings," Preservation Brief 10: "Exterior Paint Problems on Exterior woodwork," Preservation Brief 28 "Painting Historic Interiors," and Preservation Brief 2 "Repointing Mortar Joints in Historic Masonry Buildings."

Implementation of these measures and the proposed plans would reduce project impacts to an acceptable by returning the house to a close approximation of its original appearance and would allow for the issuance of a Certificate of Appropriateness.

### **3.0 ADMINISTRATIVE SETTING**

*CEQA Section 15064.5 defines historical resources as follows:*

- (1) A resource listed in, or determined to be eligible by the State Historical Resources Commission, for listing in the California Register of Historical Resources Commission (State CEQA Guidelines Section 5024.1, Title 14 CCR, Section 4850 et seq.).

There are several ways in which a resource can be listed in the California Register, which are codified under Title 14 CCR, Section 4851.

- A resource can be listed in the California Register by the State Historical Resources Commission.
- If a resource is listed in or determined eligible for listing in the National Register of Historic Places (National Register), it is automatically listed in the California Register.
- If a resource is a California State Historical Landmark, from No. 770 onward, it is automatically listed in the California Register.

- (2) *A resource included in a local register of historical resources, as defined in section 5020.1 (k) of the Public Resources Code or identified as significant in an historical resource survey meeting the requirements section 5024.1 (g) of the Public Resources Code, shall be presumed to be historically or culturally significant. Public agencies must treat any such resource as significant unless the preponderance of evidence demonstrates that it is not historically or culturally significant.*

The requirements set forth in PRC 5024.1 (g) for historical resources surveys are: A resource identified as significant in an historical resource survey may be listed in the California Register if the survey meets all of the following criteria.

- *The survey has been or will be included in the State Historic Resources Inventory.*

- The survey and the survey documentation were prepared in accordance with office [of Historic Preservation] procedures and requirements.
- The resource is evaluated and determined by the office [of Historic Preservation] to have a significance rating of Category 1 to 5 on DPR Form 523.
- If the survey is five or more years old at the time of its nomination for inclusion in the California Register, the survey is updated to identify historical resources which have become eligible or ineligible due to changed circumstances or further documentation and those which have been demolished or altered in a manner that substantially diminishes the significance of the resource.

(3) Any object, building, structure, site, area, place, record, or manuscript which a lead agency determines to be historically significant or significant in the architectural, engineering, scientific, economic, agricultural, educational, social, political, military, or cultural annals of California may be considered to be an historical resource, provided the lead agency's determination is supported by substantial evidence in light of the whole record.

Generally, a resource shall be considered by the lead agency to be "historically significant" if the resource meets the criteria for listing on the California Register of Historical Resources (Pub. Res. Code SS5024.1, Title 14 CCR, Section 4852). The fact that a resource is not listed in, or determined to be eligible for listing in the California Register of Historical Resources, is not included in a local register of historical resources (pursuant to section 5020.1(k) of the Public Resources Code), or is identified in an historical resources survey (meeting the criteria in section 5024.1(g) of the Public Resources Code) does not preclude a lead agency from determining that the resource may be an historical resource as defined in Public Resources Code sections 5020.1 (j) or 5024.1.

CEQA regulations identify the Secretary of the Interior's Standards as a measure to be used in determinations of whether or not a project of new development or rehabilitation adversely impacts an "historical resource." Section 15064.5(b)(3) states:

"Generally, a project that follows the Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, and Reconstructing Historic Buildings or the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (1995), Weeks and Grimmer, shall be considered as mitigated to a level of less than a significant impact on the historical resource."

Section 15064.5(a)(4) of the CEQA Guidelines states:

"The fact that a resource is not listed in, or determined to be eligible for listing in the California Register of Historical Resources, not included in a local register of historical resources (pursuant to Section 5020.1(k) of the Public Resources Code), or identified in an historical resources survey (meeting the criteria in Section

5024.1(g) of the Public Resources Code) does not preclude a lead agency from determining that the resource may be an historical resource as defined in Public Resources Code Sections 5020.1(j) or 5024.1.”

The California Environmental Quality Act (CEQA) requires analysis of impacts that may result from project development. These include impacts to listed or potential historic resources. The California Environmental Quality Act (CEQA) mandates that a proposed project's impacts to historic resources be assessed. Historic resources are defined in Public Resource Code as follows:

§5020.1: “Properties listed in, or determined eligible for listing in the California Register of Historical Resources.” In order to be eligible for listing a resource must meet one or more of the following criteria to be eligible for listing: A) Is associated with events that have made a significant contribution to the broad patterns of California's History and Cultural Heritage. B) Is associated with the lives of persons important in our past; C) Embodies the distinctive characteristics of type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; and D) Has yielded, or may be likely to yield information important to history or prehistory.”

§5021.1(k): Properties included in “local registers of historic resources.” According to Section 5021.k local registers include the following: “a list of properties officially designated or recognized as historically significant by a local government pursuant to a local ordinance or resolution. Generally, local registers can be defined as either properties designated as landmarks per local ordinances (or resolutions) or properties included in a survey of historical resources that meets the standards of the Office of Historic Preservation (SHPO) for such studies.

The property must meet one or more of the following California Register of Historical Resources Criteria:

1. Is associated with events that have made a significant contribution to the broad patterns of California's history and cultural heritage; 2. Is associated with the lives of persons important in our past; 3. Embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values; or 4. Has yielded, or may be likely to yield, information important in prehistory or history (PRC §5024.1(c)).

By definition, the California Register of Historical Resources also includes all “properties formally determined eligible for, or listed in, the National Register of Historic Places,” and certain specified State Historical Landmarks.

The register also includes properties that have formally been listed in the National Register of Historic Resources or determined eligible for listing in the National Register of Historic Places. Properties eligible for listing in the National Register must meet one of the following criteria to be eligible for listing:

- A) are associated with events that have made significant contributions to the broad patterns of our history;
- B) are associated with the lives of persons significant in our past;
- C) embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguished entity whose components may lack individual distinction;
- D) have yielded, or may be likely to yield information important in prehistory or history.

### **County of Ventura Significance Criteria**

#### Ordinance 4225, Sec.1365-5, Definition and Designation Criteria for Cultural Heritage Sites

*For the purposes of the Ordinance, an improvement, natural feature or site may become a designated Cultural Heritage Site if it meets the following applicable criteria:*

#### a) Landmarks – Satisfy one of the following criteria:

- (1) It exemplifies or reflects special elements of the County's social, aesthetic, engineering, architectural, or natural history;*
- (2) It is associated with events that have made a significant contribution to the broad patterns of Ventura County or its cities, regional history, or the cultural heritage of California or the United States;*
- (3) It is associated with the lives of persons important to Ventura County or its cities, California, or national history;*
- (4) It has yielded, or has the potential to yield, information important to the prehistory or history of Ventura County or its cities, California or the nation;*
- (5) It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master or possesses high artistic values;*
- (6) Integrity: Establishes the authenticity of the resource's physical identity by evidence of lack of deterioration and significant survival of the characteristics that existed during its period of importance. This shall be evaluated with regard to the retention of location, design, setting, materials, workmanship, feeling and association.*

#### b) Sites of Merit satisfy the following criteria:

- (1) Sites of historical, architectural, community, or aesthetic merit which have not been designated as landmarks or points of interest, but which are deserving of special recognition; and*

(2) County approved surveyed sites with a National Register status code of 5 or above.

c) Points of Interest. Satisfy the following criteria:

- 1) That is a site of a building, structure or object that no longer exists, but was associated with historic events, important persons or embodied a distinctive character or architectural style; or
- (2) That it has historical significance, but has been altered to the extent that the integrity of the original workmanship, materials, or style has been substantially compromised; or
- (3) That the site of a historic event which has no distinguishable characteristics other than that a historic event occurred at the site and the site is not of sufficient historical significance to justify the establishment of a landmark.

d) District. Meets the criteria below:

- (1) Possesses a significant concentration, linkage, or continuity of sites, buildings, structures, or objects united historically or aesthetically by plan or physical development.
- (2) Has precisely mapped and defined exterior boundaries, which requires a description of what lies immediately on the edge of the district to allow rational exclusion of adjoining areas.
- (3) Has at least one of the criteria for significance of Section 1365-5a.1-8.
- (4) Complies with the criteria for integrity contained in Section 1365-5a.6.

### **Impact Thresholds**

Section 21084.1 of the Public Resources Code provides the framework for determining whether a resource is a historic resource for CEQA purposes. Historic resources that are listed in or eligible for listing in the California Register of Historical Resources (California Register), that are, per se, significant other resources, that are officially designated on a local register, or that are found to be significant by the State Historic Preservation Officer (SHPO) under Section 5024.1(j) of the Public Resources Code are presumed to be significant. According to CEQA in determining potential impacts on historical resources under CEQA, projects are reviewed using the Secretary of the Interior's Standards (Standards). A "substantial adverse change" means "demolition, destruction, relocation, or alteration of the resource such that the significance of an historical resource would be materially impaired." The setting of a resource should also be taken into account in that it too may contribute to the significance of the resource, as impairment of the setting could affect the significance of a resource. Material impairment occurs when a project:

1. Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its inclusion in, or eligibility for, inclusion in the California Register of Historical Resources;
2. Demolishes or materially alters in an adverse manner those physical characteristics that account for its inclusion in a local register of historical resources pursuant to Section 5020.1(k) of the Public Resources Code or its identification in an historical resources survey meeting the requirements of Section 5024.1(g) of the Public Resources Code, unless the public agency reviewing the effects of the project establishes by a preponderance of evidence that the resource is not historically or culturally significant; or
3. Demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its eligibility for

inclusion in the California Register of Historical Resources as determined by a lead agency for purposes of CEQA.

The California Environmental Quality Act (CEQA) requires analysis of impacts that may result from project development, including impacts to historic resources. The report follows the guidelines for Historic Cultural Resource Studies set forth by the County of Ventura, as well as State and Federal guidelines pertaining to the assessment of impacts to historic resources. These include the State CEQA Guidelines, specifically Section 15064.5, Determining the Significance of Impacts to Archaeological and Historical Resources, as well as the CEQA guidelines adopted by the County of Ventura. The methodology for determining whether the property meets the eligibility requirements for listing as a historic resource under County, State, and Federal eligibility criteria was based on archival research to determine the historic context of the properties within the project area, as well as on-site evaluation of the physical and visual integrity of each building. This study includes the following:

- 1) Documentation of the historic context and physical appearance of the resources within the project site and the individual buildings, structures, and features at 8442 Santa Ana Road;
- 2) Identification of potential historic, architectural, and cultural resources within the project area;
- 3) Evaluation of potential resources for listing as historic resources at the County, State, and Federal levels;
- 4) Evaluation of the integrity of potential significant historic resources;
- 5) Assessment of the direct and indirect impacts of the proposed project on historic resources identified in this study;
- 6) Evaluation of project impacts to significant historic resources; and
- 7) if necessary, provide mitigation measures to address project impacts to historic resources.

The Lead Agency for the project is the County of Ventura. This report includes required findings regarding the potential environmental impact of the proposed Conditional Use Plan to the significant historic resources identified in this report. The report meets the requirements of a historical resource survey as outlined in Section 5020.1(k) of the Public Resources Code. Pamela Post, Ph.D., principal investigator and senior historian, and Timothy Hazeltine prepared this report.

## **4.0 HISTORICAL CONTEXT**

The following section of the report provides a historical context for the property.

### **4.1 Regional Context and Historic Themes**

Historic context themes for Ventura County are defined in Section 3 of the *County of Ventura Historic Preservation Plan*. As detailed below in Section 4.2, the resource's significant historical associations occurred between 1918 when the American Colonial Revival style house was built by William Waterhouse, a former mayor of Pasadena.

## 4.2 Historical Context (Pre-Contact to 2020)

The project property is within the area inhabited by the Chumash, a Native American culture group who occupied the area between the southerly end of Monterey County and Malibu. The Ventureño Chumash were a semi-sedentary society with a stratified social order, extensive trade networks and a maritime adaptation characterized by wood plank canoes and trade with neighboring groups, including those on the Channel Islands. In 1782 Mission San Buenaventura was established by the Spanish government in what is now downtown Ventura. The mission system was intended to Christianize the Chumash and transform them into agriculturists and subjects of the Spanish Empire. During the Spanish era, a vast tract of land, including the lower reaches of the Ventura River were set aside for the use of the Mission and its inhabitants. The future location of study property may have been used for grazing and perhaps agriculture given its proximity to the Ventura River and a nearby mission outpost with a small chapel. Mexico gained its independence on August 24, 1821, when Spain signed the Treaty of Cordoba recognizing Mexico as an independent nation. As a consequence, California passed to Mexican rule.

For the 27 years between 1821 to 1848, California was a Mexican territory ruled by a governor appointed by the central government. The most notable development in California during this era was the 1833 secularization of the Franciscan missions by the Mexican Congress (Millikin et al. 2009: 154). A year later, in August of 1834, the California departmental legislature passed a "Provincial Ordinance for the Secularization of the Missions of Upper California" to implement secularization in Alta California (Millikin et al. 2009: 154). The Reglamento envisioned the transformation of approximately half of mission lands, settlements, and goods into self-governing Native American communities with allotments of land for the former neophytes, and lands held in common for grazing. This form of land ownership, which was known as the Ejido system in Mexico, contrasted with the system of private land ownership based on Spanish models, which was known as the haciendo system (Millikin et al. 2009: 154 -157). Operated in the same manner as landed estates in Spain or Colonial era Mexico, the rancho system in California vested ownership of land and its improvements and agricultural equipment, herds and produce, in private owners who were responsible for providing shelter, tools, and farm animals to their tenants a system similar to the share-cropper system of the post-antebellum South.

Despite the intentions of both the federal and provincial governments, almost no lands or goods were allotted to Native Americans and the lands, assets and buildings that composed the mission system were, for the most part, granted to Mexican citizens. One of these grants was Rancho Santa Ana a 21,522-acre tract encompassing the project property granted to Crisogomo Dolores Ayala and his father-in-law, Cosme Damian Vanegas on April 14, 1837. Ayala was married to Vanegas' daughter, Berindia. The Vanegas were an influential family, as his father, Maria Vanegas, having been pobladores (mayor) of Los Angeles. Ayala built a two-story adobe house on the ranch. In 1848, the California passed to Mexican control as a result of the Mexican-American War and the Treaty of Guadalupe Hildalgo. Shortly after, the California Land Act of 1851 was passed that required Mexican era landowners to establish title before the Public Lands Commission. This was a time-consuming process that began in 1852 but was not completed until 1870. Despite the lack of clear title, portions of the Rancho were sold, including a 1/6 share purchased by Jose de Arnez in 1854. In 1872, two years after

Vanegas and Ayala received a patent for the Rancho, Arnez sold his share to three American investors, Richard, Robinson, Judge Eugene Fawcett Jr., and H.C. Dean, who divided the property into lots which they then sold. One of these was a tract of land encompassing the future location of the study parcel.

William Waterhouse and Melicent (Smith) Waterhouse, who built the existing ranch house in 1917-1918, were members of influential British and American families who had settled in the Hawaiian Islands in the 1840s. Within a decade of their arrival, the Waterhouse and Smith families acquired large tracts of lands and political power in the Kingdom. The Smith family established cattle ranches and farms and other commercial ventures on the island of Kaua'i and the Waterhouses had extensive business interests on O'ahu (Korn 1958: 326 & 332). Melicent Philena (Smith) Waterhouse, was born on Kaua'i in 1854 to James William Smith (1810-1887) and Melicent Knapp Smith. Melicent's parents were Congregational missionaries from New England who sailed to the Hawaiian Islands in 1843. Settling on Kaua'i, they soon acquired extensive tracts of land from members of Kauai's royal family which they transformed into a ranching and farming operation (Joesting 1984: 186 -187). Members of the Smith family also exercised considerable political influence with Melicent's father, who was for many years the Island's only physician, serving as a counselor to the Kingdom's government (Joesting 1984: 144). William Smith, one of Melicent Smith Waterhouse's brothers, was appointed Governor of Kaua'i by Queen Lili'uokalani in 1891. Like many of the country's white elite, members of the Smith family, including Melicent's brother, were supporters and active participants in the 1893 overthrow of the Kingdom's government, which was replaced by a short-lived republic whose goal was annexation by the United States (Joesting 1984: 254 – 259).

In 1876, Melicent married Hawai'i-born William Waterhouse (1852 -1942) the son of John, Thomas Waterford (1816 - 1895) and Eleanor Dickerson Waterhouse. The couple were members of two British families who had settled on O'ahu in the 1840s (Joesting 1984: 220). Shortly after their marriage, the Waterhouses relocated to Cedar Rapids, Iowa to manage businesses owned by the Waterhouse family. Their first three children, Gerald C., Glenn W., and Robert G. Waterhouse were born in Cedar Rapids, Iowa. While William initially worked in the family business, he later became an evangelical preacher. In circa-1896, after approximately 20 years in Iowa, the couple relocated to Pasadena where William was elected mayor of that city in 1905. In 1907, Waterhouse's bid for a second term was unsuccessful, and he was succeeded by Thomas Earley (Los Angeles, Times pg. 10, "Earley Wins by a Narrow Margin," April 2, 1907). Waterhouse continued to be involved in Pasadena politics for many years after his defeat. While the family continued to maintain a home in Pasadena after Waterhouse's defeat, they also purchased a ranch in Covina where they lived, at least on an intermittent basis.

It was during this period that the Waterhouses purchased a large ranch near what is now Casitas Springs sometime before 1910. The 1910 U.S. Census lists Melicent as living in Ventura with her sons, Gerald, Glenn, and Robert. There is no listing for William, Melicent's husband in the 1910 Census. The 1910 Census also records their home as a farm located on the Avenue (1910 U.S. Census). In 1917, the Waterhouse family commissioned the construction of an American Colonial Revival style house on their Ventura property. The selection of this architectural motif is not surprising given Melicent's New England ancestry and the popularity of the American Colonial Revival style for upper class residential construction during the early

20th century. In that same year, Gerald Waterhouse, William and Milicent's son, moved from Chino to Ventura to manage the family's extensive landholdings (*The Ventura County Star and the Ventura County Post*, June 10, 1927: Long Ago in Ventura, Ten Years Ago, pg. 10). The house was completed by May of 1918, when Gerald Waterhouse and his wife entertained a group of friends "At the opening of their beautiful new Casitas Springs ranch home, Mr. & Mrs. Gerald Waterhouse entertained a party of twenty young people Saturday night" (*Los Angeles Times*, May 19, 1918: Society, Ventura County).

Gerald Waterhouse, lived on the ranch with his wife Bessie and their children Otho, born in Illinois, in 1904, son Gerald born in California in 1915, and daughter Eleanor born in 1920 (1920 U.S. Census). During his time in Ventura, Gerald served on the Ventura School Board and as secretary of the Ventura County Cattlemen's Association (*Oxnard Daily Courier*, March 30, 1920, "County Cattlemen Elect New Members"). In 1923, the Waterhouse family sold the ranch, which composed several hundred acres, to Los Angeles businessman Orville T. Nye (*Los Angeles Times*, November 22, 1992: 831). After their retirement in the late 1920s, Gerald's parents returned to Koloa, Kaua'i, sometime before 1930 where they lived with their son Allen until their deaths in 1943. Gerald Waterhouse, who returned to Chino after the sale of the ranch, died there in 1933 (California Death Index 1905 -1939).

Orville Thomas Nye was born in Swan and Union, Iowa, on February 24, 1880. By 1910, he had relocated to Lincoln, New Mexico where he worked as a teacher (1910 U.S. Census). By 1912, he had changed careers and was employed as secretary to the American Title and Trust Company, in Lincoln, New Mexico (Polk Directory for Lincoln County, New Mexico: 1913). In 1913, he homesteaded two tracts of land near Torrance, New Mexico (U.S. General Land Office Records 1776 - 2015). Sometime between 1910 and 1912 Nye married Hildred Iona Soper of Torrance, New Mexico. Hildred was born in Illinois, on Jan. 25, 1890; her family moved to New Mexico, sometime before 1910. By 1913, the Nyes had moved to Roswell, New Mexico, where their son, Orville T. Nye Jr. was born on October 14, 1913. The Nyes moved from Roswell to Carrizozo sometime between February 28, 1917, the birth date of their son William, and November 4, 1918, when their son Robert was born in Carrizozo (1920 US Census).

After his relocation, Orville once again changed careers and was now employed as County Clerk for Lincoln County (Sept. 9, 1918 Draft Registration Card). Sometime between late 1918 and 1920, the family moved to California where Hildred, and their children were living in a rented home in Santa Monica (1920 U.S. Census). Dorothy, the couple's second youngest child, was born in California in 1921 (1930 U.S. Census). By 1922, the family was living on Paloma Avenue in Los Angeles where Orville was employed in the petroleum industry (1922 Voter Registration for Orville T. Nye). In 1923, the Nyes purchased the Waterhouse Ranch (*Los Angeles Times* 1992). In 1924, Nye subdivided a portion of the ranch property located in Casitas Springs into residential lots: "G.T. Nye, owner of the Waterhouse Ranch and who has property east of the Ojai Road, in the same locality, which he has subdivided and sold much land there to Venturans and others who plan on the construction of summer homes" (*Ventura Daily Post*, September 13, 1924: pg. 1: "Many Venturans Buy at Casitas"). The next year, in 1925, 1,800 acres of the Waterhouse ranch were sold to the Canet ranching family (*Ventura County Star*, September 3, 1925: "Exchanges ranch Land for Property in City"). Available records do not indicate if this sale was part of the property purchased by Orville Nye, or if it was a portion of the ranch retained by the Waterhouse family that they later sold).

The 1930 Census lists the Nye family as living on Santa Ana Road on a farm property valued at \$70,000 (1930 U.S. Census). Orville died three years later on April 10, 1933 (California Death Index). After Orville's death, the property was inherited by his wife Hildred, who continued to operate the property as a ranch and farm (1940 U.S. Census). The 1940 census valued the ranch at \$50,000, which likely reflected the impact of the Great Depression on property values. In 1940 her children, William, Robert, Dorothy, and Howard, were also living on the ranch. Hildred continued to live on the ranch until her death in 1980. After her Hildred's death in 1980, the property was occupied by her disabled son William Jasper Nye who was murdered there in 1985. After William J. Nye's death, the ranch was managed by James Nye, the grandson of Orville and Hildred Nye. In 1993, the property was offered for sale. A 1993 real estate listing for the property notes the poor condition of the house and the need for extensive repairs (*Los Angeles Times*, November 22, 1993: "Historical Ranch House Offered for Sale"). The property appears to have been unoccupied between the early 2000s and its sale to the current owners on September 25, 2018. During that time, the house suffered from deferred maintenance and extensive vandalism which damaged or partially destroyed exterior architectural elements including windows, window sash, the front porch, veranda, and architectural detailing such as the porch and veranda's balustrades.

## **5.0 DESCRIPTION OF POTENTIAL HISTORIC RESOURCES**

The project property is accessed via driveway extending from the east side of Santa Ana Road to a parking area off the house's west elevation. The 123.16-acre study property is bounded by Santa Ana Road on its west, APN 060-0-220-020, a 53.62-acre parcel fronting the Ventura River on its east, and APN 060-0-220-005, and APN 060-0-220-026 on its south is developed a two-story house built in 1918, a one-story garage/outbuilding to its east and a one-story building located southwest of the house (see Figure 1 and Sheets A0.0 & A1.1 in Appendix A):

### Buildings

- House built in 1918;
- Barn/Garage building (built between 1918 and 1929); and
- "Dairy Building" (built after 1929 and before 1938, the original use of this building is unknown, but may have been a dairy).

### Hardscape Features

- Mortared stone retaining walls and steps off the south side of the house; and
- Shallow, mortared stone retaining wall off north side of house; and

### Plantings/Landscape Features

- Large specimen trees, including a jacaranda and eucalyptus adjacent to the house; and
- Remnants of smaller scale plantings are located off the north, south and west sides of the house.

## 5.1 Description of Resources

### 5.1.1 House (Appendix A, Sheet A1.1)

Built in 1918, the house is a two-story wood frame building with a partial basement level set on a continuous, board-formed concrete foundation partially clad in brick veneer (Figure 2). Several design features of the house including its clapboard siding, Classical-style detailing, and symmetrical façade, identify it as an example of the American Colonial Revival style, a subtype of the Period Revival movement.

#### Architect's South Elevation (entrance facade)

The entrance façade faces towards a two level terrace overlooks pastures that extend to the south end of the parcel (Figures 3 – 10). This elevation is composed of the main block of the house capped by a side gable roof, which is flanked on its east by a recessed wing with a lower ridge line. The main block is symmetrical in design with a centrally-placed porch sheltering an entrance door flanked by sidelights. The existing front porch is a replacement of the original porch which featured paired Classical style piers and pilasters supporting a balcony with a Classical style railing. The porch's original concrete and brick stoop survives. A symmetrical arrangement of pairs of six-over-one wood sash windows flanks either side of the porch; these windows are recent (2020) replacements of the original sash. The balcony was accessed via glazed wood panel door flanked by four-over-one sash windows set at the façade's center point. On its east side, the porch is flanked by a recessed wing whose fenestration is composed of a symmetrical arrangement of six-over-one windows. The original one-story veranda style porch capped by a balcony that extended off the west end of the elevation has been removed. The porch's existing roof structure and wood posts are replacements (2020) of the original Classical style wood piers, balustrade, and flat roof.

#### Architect's North Elevation (rear elevation)

This elevation is T-shaped in configuration with a front-facing gable element set at the elevation's center point, extending off the main block's side gable roof (Figures 10 -13). A secondary side gable roof with a lower ridge and plate height caps the service (east) side of the elevation. On its west side, the house's main block is flanked by a veranda style porch capped by a balcony. The front-facing gable features a red brick chimney extending above the roof's ridge line. Fenestration is composed of four-over-one or six-over one wood sash windows of varying dimension. Windows that provide light service rooms such as the kitchen and servants' rooms, are smaller while windows that provide light and ventilation to reception rooms and dining room on the first floor are larger. Second floor windows for the family bedrooms on the west side of the elevation were larger than those in the servants' quarters. Half-lunette windows flanking either side of the chimney are set near below the peak of the elevation's front-facing gable.

#### Architect's East Elevation

This elevation, which is T-shaped in configuration, is composed of the two-story service wing of the house sheltering a pantry, kitchen, and service rooms on the first floor and servants' rooms

on the second floor (Figures 15 – 17 and see Figure 10). A multi-light wood panel door set near the center of the elevation provided access to a basement level which sheltered the house's heating system and other utilities. Fenestration is primarily composed of four-over-one and six-over-one wood sash windows of varying dimensions and a door opening set at the center of the elevation. At attic level, rectangular window capped by a semi-circular transom is set just below the peak of the front-facing gable. A recessed front-facing gable roof with a prominent brick chimney, set behind the kitchen wing, provides light and ventilation to the second-floor family bedrooms. On its north side, the service wing is flanked by a deeply recessed projection capped by a side gable roof. Its fenestration includes a six-light wood paneled door.

### Architect's West Elevation

This elevation, which is T-shaped in configuration, is composed of the main block of the house with reception rooms on the first floor and family bedrooms on the second floor (Figures 18 - 20). The elevation's front-facing gable features a brick chimney extending above the roof's ridgeline. At the center of the elevation a veranda composed of paired wood posts which were originally capped by a balcony, shelter double twelve-light French doors flanking either side of the chimney. The veranda's original brick and scored concrete floor survives. Fenestration is composed of four-over-one and six-over-one wood sash windows of varying dimensions. At attic level, rectangular window capped by a semi-circular transom is set just below the peak of the front-facing gable. The second floor fenestration is composed paired, ten-light French doors opening onto the second floor balcony. Two rectangular windows with half-lunette transoms, set on either side of the chimney, provide light to the attic. On its north side the service wing is flanked by a deeply recessed projection capped by a side gable roof. Its fenestration includes a six-light wood paneled door.

### Building Chronology, Alteration and Modifications

The house was built in 1917-1918 for the Waterhouse family. No significant exterior alterations are recorded by permits. An inspection of the exterior and photographs taken before 2020 suggests substantial alterations or additions have not been made to the building prior to the commencement of the unpermitted alterations in 2020 (Figures 21 - 23). The house has been unoccupied since the early 2000s. Alterations to the house since its construction include the following:

- The house's wood shutters have been removed;
- Water infiltrated the rear elevation's wall framing and siding;
- Wood siding on the remainder of the building has suffered from dry and wet rot and water infiltration;
- The house's trimwork, doors and windows as well as the porches and their balconies were destroyed or vandalized leading to the deterioration or loss of these architectural features. The interior was also vandalized;
- In 2020, the current owners undertook unpermitted repairs to the house which included replacement of damaged or deteriorate windows with new sash units and French doors designed to emulate the appearance of the original fenestration;
- Another unpermitted alteration was the replacement of remaining elements of the

damaged porch and veranda piers with the intention of matching the original Classical style piers in dimension, trimwork, material and appearance;

- As part of the renovation project the existing foundation was repaired and French drains were installed along the north side of the house to address water infiltration; and
- Sections of rotted sheathing were removed for eventual replacement with siding matching the historic material in dimension, material, and profile.

### American Colonial Revival Style (Circa-1880-1955)

The American Colonial Revival style is based on design elements inspired by American Colonial architecture of the mid-late 19<sup>th</sup> century. This revival style was initiated by the 1876 Philadelphia Centennial Exhibition. Celebrating the 100<sup>th</sup> anniversary of America's independence, the Centennial is credited with initiating an interest in America's colonial period architecture. Common motifs of the American Colonial Revival style were cubic massing featuring a symmetrical entrance façade, side gable roofs and architectural motifs inspired by 18<sup>th</sup> century interpretations of Classical style architectural motifs such as dentil moldings, window surrounds, and pilasters and columns. This subtype of the period revival movement was particularly popular after 1910 (McAlester and McAlester 1984: 323). Approximately 25 percent of American Colonial Revival style houses are designed with side gable roofs (McAlester and McAlester 1984: 321 – 323). Fenestration is characterized by pairs of multi-paned, double-hung sash windows, often with wood shutters. The most common types of siding are horizontal wood clapboards or tongue and groove board, though brick and masonry are found in some larger, more high-styled houses and buildings, particularly in the East and Midwest. More modest examples of the style eschewed elaborate decorative detailing with elaborate treatments, including porches embellished with pilasters and columns, detailed trim work and second floor balconies confined to upper class houses, such as the house on Santa Ana Road.

The Waterhouse's home on Santa Ana Road incorporates several that identify it as a high-style example of this style. These include its five-part entrance façade composed of a centrally-placed entrance porch, flanked by a symmetrical arrangement of rectangular windows, the elaborate Classical style detailing of the entrance porch and veranda which feature square Classical style piers, pilasters, and balustrades. The symmetry of the house is further accented by the massive red brick chimneys that flank either end of the main block. The spatial arrangement of the house's interior with the main block sheltering reception rooms and a formal staircase on the first floor and family bedrooms on the second floor with a recessed service wing with a lower roof ridge housing kitchens, pantry, other service rooms, a servants' staircase on its first floor and staff bedrooms on the second floor are characteristic of an upper class house in the early 20<sup>th</sup> century. These houses, like their 19<sup>th</sup> century antecedents, emphasized clear distinctions between family and servants through their spatial organization and architectural detailing.

#### **5.1.2 Barn/Garage (Appendix A, Sheet A1.1)**

A one-story wood and metal service building housing a barn and garage, is located southwest of the house. The structure has wood framing, a broken-pitch side gable roof covered in corrugated metal and walls partially sheathed in wide wood planks (Figures 24 -

28). The garage portion of the building features a series of open bays separated by wood posts on its south elevation. Fenestration is composed of paired two, four-light wood windows on the rear elevation. The building is surrounded by security fencing and is a state of advanced deterioration, which made it unsafe to enter.

#### Building Chronology, Alterations and Modifications

A precise construction date for this building could not be determined. However, it is depicted on a 1929 aerial photograph indicating it was built by that year (Figure 43). It is likely the building was constructed around circa-1918 when the house was built.

#### **5.1.3 “Dairy” Building (Located southwest of the house) (see Figure 1)**

This is a stucco-clad wood frame building located north of the house (Figures 29 - 31). The building is capped by a complex cross-gable wood shingle roof with shallow eaves. The building's doors and windows have been removed or extensively damaged. A partially enclosed area surrounded by low concrete walls, located off the north end of the building, may have been associated with the possible use of the building as a dairy.

#### Chronology and Alterations and Modifications

This building does not appear to be depicted on a 1929 aerial photograph suggesting it was built sometime between 1929 and 1938 when it is depicted on an aerial photograph of that year. While the original use of the building is unknown, it was likely associated with the ranch's agricultural or ranching operations including a dairy that was operated on the property in the 1930s. The building has undergone the following alterations and modifications.

- Most of the building's doors and windows have been removed, covered by wood sheeting, or damaged by vandalism and neglect. This damage appears to have occurred since the early 2010s.

#### **5.1.4 Landscape**

The project property is located southwest of Casitas Springs, on the west bank of the Ventura River in an unincorporated area of Ventura County. The study parcel is characterized by steeply sloping hillsides bordering either side of the Ventura River valley (Figure 32 – 32 and see Figures 29 – 31). Native vegetation includes oak woodlands and riparian plant communities along water courses. The extent and character of these native plant habitats have been affected and modified by human activity, such as ranching, agriculture and development, beginning in 1782 with the foundation of Mission San Buenaventura in Ventura. The development pattern in the vicinity of the study parcel is characterized by residential lots intermixed with larger parcels, some of which are developed with single-family houses while others are cultivated fields or orchards.

The project property features remnants of an informal designed landscape around the house (see Figures 32 & 33). The remainder of the property is a vernacular rural landscape composed of uncultivated agricultural land, disused pastures, and a riparian corridor along

the Ventura River.

### Existing Conditions

A graveled driveway extends off Santa Ana Road to the house's entrance façade (see Figure 36). A two-level terrace with retaining walls of mortared stone blocks and cobbles extends off the house's entrance façade (Figures 36 – 41 and see Figures 1 - 3). The upper terrace is separated from the lower terrace by a driveway which once led to the barn/garage building. The terraces off the house's entrance façade are rectangular in configuration with a mortared stone retaining walls and concrete steps aligned with the house's front door porch. At the base of the lower terrace a dirt and roadway extend to the southeast past the barn/garage building. Remnants of ornamental plantings include a large jacaranda tree at the northwest corner of the lower terrace, a cypress tree flanking one side of the lower terrace's steps, and several large eucalyptus trees off the north corner of the house and near the former "dairy" building. Remnants of ornamental plantings are largely confined to a scattering of pines, loquats, cotoneaster, crinum lilies, olives, and aloes located off the house's rear (north) elevation (Figure 42) and a walnut located south of the barn/garage. A native oak is located off the southwest corner of the barn/garage.

In addition to pastures and uncultivated fields, the remainder of the property features a scattering of trees at its southwest end off of the rear of the house and barn/garage and several very large eucalyptuses near the house and dairy building. The property's Santa Ana Road frontage is delineated by metal fencing of various types.

### Chronology, Alteration and Modifications

- A 1929 aerial photograph depicts the house and terraces as well as a driveway leading from Santa Ana Road to the house. This photograph also depicts a building (now demolished) adjacent to the Santa Ana Road frontage that was likely associated with the ranch's agricultural operations. Fields extends from the house to the western end of the property (Figure 43);
- A 1938 aerial photograph depicts the "dairy" building and cultivated fields extending west of the house. With the exception of the terraces and ornamental planting in the vicinity of house, landscaping appears to minimal in nature (Figure 44);
- A 1941 aerial photograph depicts several changes to the property including the planting of an orchard at the north end of the driveway at its entrance onto Santa Ana Road and more extensive plantings around the house. It appears several small structures were located off the south end of the terraces. The construction date for these buildings is unknown; this is the first year they are clearly depicted on available aerial photographs (Figure 45);
- A 1959 aerial photograph depicts a larger orchard had been planted west of the "dairy" building and the orchard at the north end of the entrance drive had been removed (Figure 46);

- A 1964 aerial photograph depicts the same overall conditions depicted by the 1959 aerial photograph;
- A 1966 aerial photograph depicts the same overall configuration of buildings and landscape features depicted by the 1959 aerial photograph. By this date, the fields surrounding the orchards do not appear to be cultivated;
- A 1969 aerial photograph depicts the same overall layout of buildings and landscape features depicted by the 1966 aerial photograph with the exception of the outbuildings located adjacent to Santa Ana Road, which had been reduced to an unroofed structure;
- A 1978 aerial photograph reveals several changes to the landscape including the removal of remnants of the outbuilding located adjacent to Santa Ana Road, the abandonment of the original driveway, and the removal of trees from the northwest corner of the orchard; and
- A 1984 aerial photograph reveals the orchard was removed sometime between 1979 and 1984 (Figure 47).

## 6.0 SIGNIFICANCE EVALUATION

As noted above, the project property at 8442 Santa Ana Road has not been previously evaluated for the presence of historic resources.

The project property embodies elements of both designed and rural landscape types composed of buildings, structures and features set in a rural landscape of agriculture fields and remnants of a designed landscape dating to the Waterhouse and Nye families' occupancy of the property. National Park Service Bulletin 15 provides guidance for identifying and evaluating potential historic districts. Because the project parcel is in a rural setting with agricultural and ranching associations, the guidelines found in National Park Service Bulletin 30 were also consulted. The rural landscape element of the project property are the remnants of the fruit orchards originally planted in the early 20<sup>th</sup> century. Rural landscapes are defined in National Park Service Bulletin 30 as follows.

*Rural historic landscapes usually fall within one of the following types based upon historic occupation or land use:*

- *agriculture (including various types of cropping and grazing);*
- *industry (including mining, lumbering, fish-culturing, and milling);*
- *maritime activities such as fishing, shellfishing, and shipbuilding recreation (including hunting or fishing camps);*
- *transportation systems; migration trails;*
- *conservation (including natural reserves); sites adapted for ceremonial, religious;*
- *or other cultural activities, such as camp meeting grounds. Although diverse, these types all contain substantial areas of vegetation; open space; or natural features that embody, through past use or physical character, significant historical values.*

- *Buildings, industrial structures, objects, designed landscapes, and archeological sites may also be present*  
([http://www.cr.nps.gov/nr/publications/bulletins/nrb30/nrb30\\_4.htm](http://www.cr.nps.gov/nr/publications/bulletins/nrb30/nrb30_4.htm) (1 of 2)12/1/2006 3:48:11 PM).

The immediate surroundings of the house are a "designed landscape" since it was designed to create certain aesthetic effects rather than for utilitarian and functional reasons. The attributes of a designed landscape are defined in National Park Service Bulletin 18 as follows:

- *A landscape that has significance as a design or work of art;*
- *A landscape consciously designed and laid out by a master gardener, landscape architect, architect, or horticulturalist to a design principle, or an owner or other amateur using a recognized style or tradition in response or reaction to a recognized style or tradition;*
- *A landscape having a historical association with a significant person, trend, event, etc. in landscape gardening or landscape architecture; or*
- *A landscape having a significant relationship to the theory or practice of landscape architecture.*

The designed landscape at 8442 Santa Ana Road incorporates design features including cobblestone retaining walls aligned with the house's entrance façade and informal plantings of introduced trees such as eucalyptus, olives and Jacarandas as well as smaller scale plantings such as crinum lilies, succulents, and cotoneaster shrubs to create a garden around the house. The employment of exotic species was a distinctive feature of many ranches' designed landscapes in early 20<sup>th</sup> century Southern California as the climate allowed the cultivation of a wide range of plants from Mediterranean climates and the subtropics. The garden surrounding the house was not extensive and appears to have been very informal in nature, which suggests it was not the work of a landscape designer or architect.

The rural landscape is composed of the pattern of fields, roads, both public and private, and topographical features such as the adjacent hillsides, flatlands bordering the Ventura River and cluster of residences bordering the west side of Santa Ana Road off the southwest end of the study property (see Location Map 1 and Location Map 2). At its south end, the study property extends to the boundary of Foster Park. Surviving outbuildings include the stable/barn located east of the house, a small stucco-sided building located southwest of the house which appears to have been associated with a dairy business operating in the mid-1930s. These buildings are utilitarian and functional in design. A large rectangular building located southwest of the "dairy" building which had existed on the property since the late 1920s, if not earlier, was demolished sometime in the late 1960s or early 1970s. What are now uncultivated fields were originally used to grow row crops, pasturage, and a large orchard as documented by aerial photographs taken between 1941 and 1984 (Figures 44 -47).

Since natural landscape features and patterns of human interaction with the environment form an important aspect of rural and semi-rural landscapes, specific guidelines for applying the integrity criteria to rural historic landscapes, found in National Register of Historic Places Bulletin 30 "Guidelines for Evaluating and Documenting Rural Historic Landscapes" (1989, Revised 1999), should be applied to the study area. Bulletin 30 includes the following definition

of historic integrity:

*“Historic integrity is the composite effect of seven qualities: location, design, setting, materials, workmanship, feeling, and association. Decisions about historic integrity require professional judgments about whether a property today reflects the spatial organization, physical components, and historic associations that it attained during the periods of significance. A property’s periods of significance become the benchmark for measuring whether subsequent changes contribute to its historic evolution or alter its historic integrity. Historic integrity requires that the various characteristics that shaped the land during the historic period be present today in much the same way they were historically. No landscape will appear exactly as it did fifty or one hundred years ago. Vegetation grows, land use practices change, and structures deteriorate. The general character and feeling of the historic period, however, must be retained for eligibility. Historic integrity is threatened single major changes such as large scale development that obliterate historic development patterns, flatten the contours of the land, alter vegetation and erase historic boundary markers, outbuildings, and fences. Integrity may also be lost due to the cumulative effect of relocated and lost historic buildings and structures, interruptions in the natural succession of vegetation, and the disappearance of small-scale features that defined historic land uses.”*

The Following Changes, When Occurring After the Period of Significance, may Reduce the Historic Integrity of a Rural Landscape:

- *changes in land use and management that alter vegetation, change the size and shape of fields, erase boundary demarcations, and flatten the contours of land*

The removal of a large orchard located south of the house has somewhat compromised the ability of the property to convey its appearance as a farm and ranch during the period of significance. However, the retention of original topographical features, surrounding landscaping and retention of the former orchard and cultivated fields in an undeveloped state, allows the property to convey its original function as farming and ranching land.

- *deterioration, abandonment, and relocation of historic buildings and structures*

Loss of historic buildings includes a large outbuilding located near Santa Ana Road, and a number of small structures located south of the stable/barn. Remaining buildings and structures include the house, barn/garage, “dairy” and the stone retaining walls located south of the house while in poor condition retain enough of their materials and design features to convey their original use and association with the operation of the property as a ranch and farm.

- *substantial alteration of buildings and structures (remodeling, siding, additions)*

The buildings albeit in fair to poor physical condition, retain most of their original materials and design features. Loss of historic features include the house's windows which were replaced

with new wood window units matching the originals in dimension, profile, pattern of divided lights and materials. The roof of the house's entrance porch survives. While the barn/garage and "dairy" are in poor condition, they retain sufficient integrity to convey their appearance during the occupancy of the Waterhouse and Nye families. Consequently, the property can still convey its overall appearance and function during the period of significance.

- *replacement of structures such as dams, bridges, and barns*

No replacement structures postdating the period of significance are present on the property.

- *loss of boundary demarcations and small-scale features (fences, walls, ponds, and paving stones)*

Historic boundary demarcations such as Santa Ana Road, and the bank of the Ventura River remain in place. While the Nye Ranch has been divided into several parcels, this has not substantially altered the pattern of fencing or resulted in additional boundary demarcations such as driveways, roads, or hedging. Consequently, the study property and its environs still convey the spatial patterning and boundary demarcations that characterized the property during its period of significance.

## **6.1 Evaluation of Significance**

The project property has not been the focus of a previous intensive historical review. Therefore, the following section of the report evaluates the property's potential architectural and historical significance and its potential eligibility for listing as a historic resource at the County of Ventura, State and National levels.

### **6.1.1 National Register and California Register of Historical Resources**

#### National Register

##### Criterion A

The study property meets Criterion A because it has a direct association with settlement and development in the Casitas Springs area between the house's construction in 1917-1918 by the Waterhouse family through its acquisition by the Nye Family in 1923 and its continued use as an agricultural and ranching property through the late 1950s.

##### Criterion B

The Waterhouse family's contributions to broad patterns of local, state and national history are more closely associated with Pasadena, California, where William Waterhouse was a local politician and the Hawaiian Islands where the William Waterhouse and Melicent Smith families played significant roles in the political and commercial life of the Hawaiian nation and subsequent territory for more than 100 years. While the Waterhouse family appears to have owned the ranch on Santa Ana Road from before 1910, they do not appear to have improved the property until 1917-1918, when the American Colonial Revival house was

completed as a home for Gerald Waterhouse, the son of William and Melicent and Bessie, his wife. The family owned the house and surrounding ranch for only a few years before selling it to Orville Nye in 1923. During his residency in the Ventura area, Gerald was a member of the Ventura School Board and a local cattlemen's association. However, these activities are not of such note that the property would be considered historically notable because of this association.

The Nye family owned the property for 96 years between 1923 and September of 2018. The historically notable portion of their ownership was between 1923 and the late 1950s. It was during this period that Orville Nye subdivided a portion of the ranch property to create a residential development in Casitas Springs. After Orville's death in 1933, the Nye family continued to farm the property until the sometime in the 1970s. Because Orville Nye played an important role in the development of Casitas Springs, the property is considered to meet Criterion B.

#### Criterion C

The complex of buildings, structures and features, hardscape and landscape elements dating to the Waterhouse and Nye families' occupancy form a distinctive assemblage clearly evocative of ranching and agriculture in early 20<sup>th</sup> century Ventura County and thereby meets Criterion C.

The house is individually eligible for listing in the National Register of Historic Places under Criterion C as an example of the American Colonial Revival style, a subtype of the early 20<sup>th</sup> century Period Revival movement. The house also embodies additional significance at the local level as an early and rare high style example of this architectural type in Ventura County.

#### Criterion D

The application of Criterion D, which refers to archaeological deposits, is beyond the purview of this report.

#### California Register of Historical Resources

The study property meets the following California Register of Historical Resources Criteria:

Criterion 1 (*associated with broad patterns of local history*) is met because the property's settlement and agricultural and ranching operations have a direct association with the history of early 20<sup>th</sup> century agriculture and ranching in Ventura County. During the first three decades of the 20<sup>th</sup> century several ranching and ranching operations were established along the lower reaches of the Ventura River, these included the Hollingsworth property located north of the study property, the Canet Ranch and Hoffman Ranch. These properties usually combined cattle or stock-raising with agriculture, which in the case of Nye Ranch, included a dairy and the planting of a large orchard south of the house. A feature of these properties was a main house that served as the owner's home, all of these houses, except for vernacular style Canet home, were designed by architects or designers in a specific architectural style. Secondary residences and service buildings, such as garages, outbuildings, barns, and stables,

were often vernacular in design as was the case with Nye Ranch. By the 1960s agricultural and ranching operations along the lower reaches of the Ventura River appear to have declined due to development, including the creation of Casitas Reservoir, which transformed ranching land into an artificial lake, the construction of the freeway and economic changes which made smaller farms and ranches less profitable. Therefore, as a surviving example of characteristic type of early 20<sup>th</sup> century ranching and agricultural property along the lower reaches of the Ventura River, the property at 8442 Santa Ana Road meets Criterion 1.

*Criterion 2 (is associated with the lives of persons important in our past)*

As noted above, under the National Register Criteria, the Waterhouse family's residency at 8442 Santa Ana Road was relatively short, encompassing a period of about five years. Moreover, while the property was owned by William and Melicent Waterhouse, they did not live there. Instead, the house was occupied for a few years by their son Gerald and his wife Bessie, who do not appear to have made substantial contributions to state or local history outside of Gerald's role as an evangelist. Therefore, the property does not meet Criterion 2 because of its association with the Waterhouse family.

The property does meet Criterion 2 because of its nine-year association with Orville Nye who subdivided a portion of the ranch to create a residential development in Casitas Springs one of several small residential communities, such as Oak Park, Meiners Oaks, and Foster Park, which were created or expanded during the early 20<sup>th</sup> century when the growth of the local petroleum industry and subsequent increase in population, created a demand for modest working and lower middle class residential development. Because Orville Nye played an important role in the development of the nearby community of Casitas Springs, the property meets Criterion 2.

*Criterion 3 (embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of an important creative individual, or possesses high artistic values)*

This criterion is met because the house, even in its damaged state, is an exemplar of the American Colonial Revival style dating to late teens, a period when the Period Revival movement was gaining in popularity. The house, with its five-part plan and use of period-appropriate detailing, exhibits a higher degree of fidelity to its colonial-era models than is usually found in Ventura County. Therefore, the house, which is an early example of the American Colonial Revival style in Ventura County, meets Criterion 3.

*Standard 4 (has yielded, or may be likely to yield, information important in prehistory or history)*

The application of this criterion, which refers to the archaeological deposits, is beyond the purview of this report.

### **6.1.2 County of Ventura Significance Criteria**

*(1) It exemplifies or reflects special elements of the County's social, aesthetic, engineering, architectural, or natural history;*

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As noted above, during the first three decades of the 20<sup>th</sup> century several ranching and ranching operations were established along the lower reaches of the Ventura River, these included the Hollingsworth property located north of the study property, the Canet ranch and Hoffman ranch. These properties usually combined cattle or stock raising with agriculture, which in the case of Nye Ranch, included a dairy and the planting of a large orchard south of the house. A feature of these properties was a main house that served as the owner's home, all of these houses, with the exception of the vernacular type Canet home were designed by architects or designers in a specific architectural style. Secondary residences and service buildings, such as garages, outbuildings, barns, and stables, were often vernacular in design as was the case with Nye Ranch. By the 1960s agricultural and ranching operations along the lower reaches of the Ventura River appear to have declined due to development, including the creation of Casitas Reservoir, which transformed ranching land into an artificial lake, the construction of the freeway and economic changes which made smaller farms and ranches less profitable..

Built in 1917-1918, the house is an early and substantially intact example of the American Colonial Revival style, one of several subtypes of the Period Revival movement. This movement which looked to the past for architectural inspiration gained popularity in the late teens of the early 20<sup>th</sup> century. While the house's architect or designer is unknown, its adept interpretation of the style strongly suggests that person was a trained architect or architectural designer. It should also be noted that high-style examples of the American Colonial Revival dating before the mid-to-late 1920s are relatively rare in Ventura County, where other iterations of the Period Revival movement, such as Spanish Colonial Revival and Tudor Revival enjoyed greater popularity. Therefore, as a surviving example of a characteristic type of early 20<sup>th</sup> century ranching and agricultural property along the lower reaches of the Ventura River and because the house is as an early high-style example of the American Colonial Revival, the property at 8442 Santa Ana Road meets Criterion 1.

*(2) It is associated with events that have made a significant contribution to the broad patterns of Ventura County or its cities, regional history, or the cultural heritage of California or the United States;*

The property is not associated with a documented historic event. Therefore, the study property does not meet Criterion 2.

*(3) It is associated with the lives of persons important to Ventura County or its cities, California, or national history;*

As noted above, under the National Register Criteria, the Waterhouse family's residency at 8442 Santa Ana Road was relatively short, encompassing a period of about five years. Therefore, the property does not meet Criterion 3 because of its association with the Waterhouse family.

The property meets Criterion 3 because of its nine-year association with Orville Nye who subdivided a portion of the ranch to create a residential development in Casitas Springs one of several small residential communities, such as Oak Park, Meiners Oaks, and Foster Park

created or expanded during the early 20<sup>th</sup> century during a period when the expansion of the local petroleum industry created a demand for modest residential development. Because Orville Nye played an important role in the development of Casitas Springs, the property meets Criterion 3.

*(4) It has yielded, or has the potential to yield, information important to the prehistory or history of Ventura County or its cities, California or the nation;*

The application of this criterion is beyond the purview of this report.

*(5) It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master or possesses high artistic values;*

Despite the replacement of the windows and the loss of most of the porch and veranda's original materials (which have been or will be replaced to emulate the original windows) the house retains its original plan and elevations including most of its original wood siding, cornice, trimwork, chimneys and wall framing and roof assembly. Also, the replacement windows match the originals in material and pattern of divided lights. Despite the loss of the original veranda and the original front porch posts, the house can still convey most of the design motifs that convey its American Colonial Revival style architecture. Therefore, the house, meets Criterion 5.

*(6) Integrity: Establishes the authenticity of the resource's physical identity by evidence of lack of deterioration and significant survival of the characteristics that existed during its period of importance. This shall be evaluated with regard to the retention of location, design, setting, materials, workmanship, feeling and association.*

Location: The house, which remains at its original location, retains integrity of location.

Design: Despite the loss of the original porch and veranda posts and balustrades, the house retains most of the design features that convey its American Colonial Revival style architecture. Moreover, while the original windows have been replaced, the replacement fenestration matches the originals in placement, dimension, design, and materials. Therefore, the house retains integrity of design.

Setting: The study parcel and surrounding parcels remain rural in character, with their characteristic pattern of fields, undeveloped land, topographical features, and roadways remaining much as they were in the early 20<sup>th</sup> century. Therefore, the study property retains integrity of setting.

Materials: The house retains most of its original materials such as cladding, trim work, wall framing and roof assembly and its brick chimneys. Replacement materials are confined to windows, which emulate the originals. Therefore, the house retains integrity of materials.

Workmanship: Sufficient of the house's original materials remain to convey the character and craftsmanship that characterize the building's original construction methods. Therefore, the house retains its integrity of workmanship.

Feeling: The house, surrounding property, and its setting, including the barn/garage and “dairy” as well as the pastures which were once cultivated fields and orchards retain the rural character the typified this area during the early 20<sup>th</sup> century. Therefore, the house retains integrity of feeling.

Association: The house and surrounding property retain enough of their original features and setting to convey their association with the Waterhouse and Nye families, and the early 20<sup>th</sup> century history of agriculture and settlement along the lower reaches of the Ventura River. Therefore, the property retains integrity of association.

*(D) District. Meets the criteria below:*

*(1) Possesses a significant concentration, linkage, or continuity of sites, buildings, structures, or objects united historically or aesthetically by plan or physical development.*

The study property meets Criterion 1 (*Possesses a significant concentration, linkage, or continuity of sites, buildings, structures, or objects united historically or aesthetically by plan or physical development*) because the property encompasses a house, barn/garage, “dairy”, and landscape elements, including cobblestone terraces, driveways, fields, topographical features and remnants of a design landscape linked by a common history and pattern of physical development associated with the Waterhouse and Nye families between 1918 and the late 1950s. The property's buildings, structures, designed and vernacular landscape features are also associated with the early 20<sup>th</sup>-century history of settlement, ranching and agriculture along the lower reaches of the Ventura River. Therefore, the property meets Criterion 1.

*(2) Has precisely mapped and defined exterior boundaries, which requires a description of what lies immediately on the edge of the district to allow rational exclusion of adjoining areas.*

The boundaries of the proposed district are defined by the legal description for APN 060-0-220-150) as depicted on Map 1 of this report.

*(3) Has at least one of the criteria for significance of Section 1365-5a.1-8.*

See above for the application of the criteria to the house and its setting.

*(4) Complies with the criteria for integrity contained in Section 1365-5a.6.*

Eligibility for Listing as a District:

Land-use changes since the period of significance are largely confined to the removal of an orchard and the demolition of an outbuilding located adjacent to Santa Ana Road and several smaller structures located southeast of the house. While these changes have not enhanced integrity they have not so altered the study parcel that it cannot convey its historic function as a ranch and agricultural property.

The following elements and features on the study property are contributors to a potential historic district:

### Contributors

#### Buildings

- House Sheet A1.1);
- Barn/garage (Sheet A1.1); and
- "Dairy" (#3 on Sheet A1.1).

#### Designed Landscape Features

- Stone retaining walls off the south side of the (see Figure 1);
- Remnants of formal landscaping surrounding the house;

#### Vernacular Landscape Features

- Open space south of the house;
- Riparian corridor along the Ventura River; and
- Natural topographical features.

## **6.2 Application of the Integrity Criteria**

The County of Ventura guidelines define integrity as follows: *Integrity: Establishes the authenticity of the resource's physical identity by evidence of lack of deterioration and significant survival of the characteristics that existed during its period of importance. This shall be evaluated with regard to the retention of location, design, setting, materials, workmanship, feeling and association:*

### Application Seven Aspects of Integrity of Rural Landscapes

Because the property is in a rural area the following guidance from NRHP Bulletin 30 was considered when evaluating integrity.

**Location:** *Location is the place where the significant activities that shaped a property took place. Geographical factors, including proximity to natural resources, soil fertility, climate, and accessibility, frequently determined the location of rural settlements. In some places, these factors have continued to spur growth and development. In others, they have insulated communities from change, fostering the preservation of historic characteristics, practices, and traditions. A rural landscape whose characteristics retain their historic location has integrity of location.*

### Buildings

The House: The house has remained at its original location since its construction in 1918. Therefore, the house retains its integrity of location.

Barn/garage: The barn/garage has remained at its original location since its construction in sometime between 1918 and 1929. Therefore, the barn/garage has retained its integrity of location.

"Dairy": The outbuilding has remained in-place since its construction sometime between 1929 and 1938. Therefore, the "Dairy" retains its integrity of location.

### Designed and Vernacular Landscape

The integrity of the designed landscape has been somewhat diminished by the loss of some of small scale plantings in the vicinity of the house. However, the retention of large specimen trees such as a jacaranda and eucalypts, and specimen plants located in the vicinity of the house has preserved sufficient of this design feature to convey the overall character of its early 20<sup>th</sup> century designed landscape. The vernacular landscape composed of pastures, fields and orchards has been more substantially altered by the loss of a large fruit orchard. However, the retention of fields located south of the house in an undeveloped state has preserved the ability of the property to convey its use as a ranching and farming property. Therefore, the study property's designed and vernacular landscape retains its overall integrity.

**Design:** *Design is the composition of natural and cultural elements comprising the form, plan, and spatial organization of a property. Design results from conscious and unconscious decisions over time about where areas of land use, roadways, buildings and structures, and vegetation are located in relationship to natural features and to each other. Design also relates to the functional organization of vegetation, topography, and other characteristics, for example, upland pastures bounded by forested hillsides and windbreaks sheltering fields or orchards. New vegetation or reforestation may affect the historic integrity of design. Changes in land use may not seriously alter integrity if historic boundary demarcations, circulation networks, and other components remain in place. Shifts in land use from wheatfield to pasture or the introduction of contour plowing may not seriously affect the overall design, whereas the extensive irrigation and planting of fruit trees on land historically used for cattle grazing would.*

With the exception of an outbuilding located adjacent to Santa Ana Road and the removal of a fruit orchard, the property appears to retain most of the features dating to the period of significance. These include topographical features, the riparian corridor along the Ventura River and Santa Ana Road, fields located between Santa Ana Road and the river and driveways and pathways. Therefore, the rural landscape retains its integrity of design.

**Setting:** *Setting is the physical environment within and surrounding a property. Large-scale features, such as bodies of water, mountains, rock formations, and woodlands, have a very strong impact on the integrity of setting. Small-scale elements such as individual plants and trees, gateposts, fences, milestones, springs, ponds, and equipment also cumulatively contribute to historic setting.*

As noted above, the physical environment of the study property and surrounding area retains the topographical features such as hillsides, flatlands bordering the Ventura River, natural and man-altered vegetation and landscapes, and the pattern of roads and boundary

demarcations, such as fencing that characterized the property during its period of significance. Therefore, the study property's rural landscape retains its integrity of setting.

**Materials:** *Materials within a rural property include the construction materials of buildings, outbuildings, roadways, fences, and other structures. The presence of native minerals, stone, and even soil can add substantially to a rural area's sense of time and place. These may be present in natural deposits or built construction.*

*Vegetation, as material, presents a complex problem. Plants do not remain static but change over time and have a predictable lifespan. While hardwoods and evergreens thrive for decades, most crops are seasonal and demand rotation. Plants and trees are subject to blights and disease and may be damaged by weather and climatic changes. Furthermore, the relationships among plant species vary over time due to differing growth patterns and lifespans, animal grazing behavior, and changes in soil conditions. Soil exhaustion, erosion, improper crop rotation, availability of water, and pollution may affect soil productivity and alter the succession of vegetation. Original plant materials may enhance integrity, but their loss does not necessarily destroy it. Vegetation similar to historic species in scale, type, and visual effect will generally convey integrity of setting. Original or in-kind plantings, however, may be necessary for the eligibility of a property significant for specific cultivars, such as a farm noted for experiments in the grafting of fruit trees.*

Most of the buildings, structures and features dating to the period of significance, including the house, barn/garage and "dairy," stone retaining walls and driveway, survive. Vegetation, both native and introduced including large trees and some specimen plants also survive. While an orchard has been removed, the overall pattern of open space delineated by the Ventura River to the east, Santa Ana Road to the west and stands of trees to the north and south survive. Therefore, the rural landscape retains its integrity of materials.

**Workmanship:** *Workmanship is exhibited in the ways people have fashioned their environment for functional and decorative purposes. It is seen in the ways buildings and fences are constructed, fields are plowed, and crops harvested. The workmanship evident in the carved gravestones of a rural cemetery endures for a long time. Although the workmanship in raising crops is seasonal, it does contribute to a property's historic integrity if it reflects traditional or historic practices.*

While in fair to poor condition, the property's built improvements retain sufficient of their original materials to convey the character of their construction methods. Smaller scale elements like retaining walls and fencing survive or largely match the originals in appearance and character. The cession of farming and ranching has resulted in the removal of an orchard and abandonment of agriculture in the form of crops leaving the former agricultural land as open fields. While this has diminished the ability of this component of the property to convey its function during the period of significance, sufficient physical traces of the use of the property as a farm and ranch including most of the original buildings and overall pattern of fields and agricultural land that convey the historic use of the property are still apparent. Therefore, the rural landscape retains its integrity of workmanship.

**Feeling:** *Feeling, although intangible, is evoked by the presence of physical characteristics that reflect the historic scene. The cumulative effect of setting, design, materials, and*

*workmanship creates the sense of past time and place. Alterations dating from the historic period add to integrity of feeling while later ones do not.*

As noted above, the property and surrounding area has preserved physical features, including topography, many landscaping features both natural and man-altered, and most of the buildings dating to the period of significance. Therefore, the rural landscape, which can still convey many features of its appearance in the early 20<sup>th</sup> century, retains its integrity of feeling,

**Association:** *Association is the direct link between a property and the important events or persons that shaped it. Integrity of association requires a property to reflect this relationship. Continued use and occupation help maintain a property's historic integrity if traditional practices are carried on. Revived historic practices, traditional ceremonies or festivals, use of traditional methods in new construction, and continuing family ownership, although not historic, similarly reinforce a property's integrity by linking past and present. New technology, practices, and construction, however, often alter a property's ability to reflect historic associations.*

The study property retains sufficient integrity of location, design, setting, materials, workmanship and feeling to convey its association with the Waterhouse and Nye families between 1918 and 1960. Therefore the rural landscape retains integrity of association.

### **6.3 Summary Statement of Significance**

The study property sufficient integrity to convey its association with the Waterhouse and Nye family and the early 20<sup>th</sup> century history of agriculture and settlement along the lower reaches of the Ventura River. Therefore, the property is eligible for listing as a district in the National Register of Historic Places, the California Register of Historic Places and as a Ventura County Landmark. Therefore, the following buildings, structures and features, and landscape features which compose an identifiable cluster of historically related features (a historic district) are significant historic resources for the purposes of environmental review.

Contributors include:

- House;
- Barn/garage;
- "Dairy;"
- Sandstone retaining walls;
- Large specimen trees near house and barn/garage (APN 029-0-033-25);
- Smaller specimen planting near house; and
- Overall pattern of open space south of the house.

### **7.0 RECOMMENDATIONS/MITIGATION MEASURES (Analysis of Project Impacts)**

CEQA guidelines state a *project with an effect that may cause a substantial adverse change in the significance of an historic resource is a project that may have a significant effect on the environment* (CEQA Guidelines subsection 15064.5(b)). The guidelines define a Substantial adverse change as: *physical demolition, destruction, relocation, or alteration of the resource*

or its immediate surroundings such that the significance of an historic resource would be materially impaired (CEQA Guidelines subsection 15064.5(b)(1)). The significance of an historical resource is materially impaired when a project demolishes or materially alters in an adverse manner those physical characteristics of an historical resource that convey its historical significance and that justify its eligibility for inclusion in the California Register (CEQA Guidelines subsection 15064.5(b)(2)).

Application of the following standards known as the *Secretary of the Interior's Standards for the Treatment of Historic Properties*, developed by the Department of the Interior will guide the evaluation. In evaluating impacts to the landscape features, the *Secretary of the Interior's Standards for the Treatment of Historic Properties with Guidelines for the Treatment of Cultural Landscapes*, were consulted. These standards are the accepted framework for determining if a project would (or has) maintains the historic character of a property or has diminished the ability of a property to convey those qualities that make it eligible for listing as a significant historic resource and whether a project is consistent with the County of Ventura historic preservation guidelines.

The Standards define rehabilitation as: *the act or process of making possible a compatible use for a property through, repair, alterations, and additions while preserving those portions or features which convey its historical, cultural, or architectural values.*

- 1) *A property will be used as it was historically or given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*
- 2) *The historic character of a property will be retained and preserved. The removal of distinctive materials or alterations of features, spaces, and spatial relationships that characterize a property will be avoided.*
- 3) *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*
- 4) *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*
- 5) *Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.*
- 6) *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*
- 7) *Chemical and physical treatments, if appropriate, will be undertaken by the gentlest means possible. Treatments that cause damage to historic materials will not be used.*
- 8) *Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*
- 9) *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment.*

10) *New additions and adjacent or related new construction will be undertaken in such a manner that if removed, in the future, the essential form and integrity of the historic property will be unimpaired (36 CFR Part 68, 1995 Federal Register, Vol. 60, No. 133).*

If a project does not comply with the Standards, it may, but not necessarily, result in a substantial adverse change in the significance of an historical resource, which may require further analysis to determine if implementation of the proposed project would “materially impair the historic resource (CEQA Guidelines 15064.5(b)).

## **7.1 Analysis of the Proposed Project**

Proposed Project:

House

Exterior

- Permit as-built replacement of the damaged fenestration with new sash units matching the originals in placement, dimension, materials, and design (Sheets A3.1, A3.1, elevations depicting replacement fenestration, treatment plan delineated under “Doors and Windows” and Sheet A5.2, window and door schedule). The new windows are divided light wood units that emulate the original in the pattern of divided lights (generally six-over-one) (see Appendix A, Sheets A2.1 – A3.2 & 5.1 and see Figures 2 -20 depicting replacement fenestration). The width of window muntins was increased to 1 3/8 inches, the minimum required to maintain the structural integrity of the windows and their code-compliant glazing to maintain the structural integrity of the windows (Dovecreek 2020, Appendix B). The original windows are documented by photographs taken before the current project was initiated (These photographs were taken between the late 1980s and early to mid-2000s (see Figures 21 – 23). Window units were replaced because of decay and vandalism, which had adversely affected their structural integrity;
- Existing exterior doors in repairable condition will be repaired. Missing doors or doors too damaged to repair will be replaced with new doors emulating the surviving original doors in appearance, detailing and material (Appendix A, Sheets A3.1, A3.2, treatment plan delineated under Windows and Doors, & 5.1, treatment plan delineated under “Door Types”);
- Sections of wood siding to deteriorated to repair were removed for replacement with new wood siding matching the original in material, design, dimension, and profile (Appendix A, Sheets A3.1 & A3.2, treatment plan delineated under “Finishes”). The existing siding is documented by Figures 2 -20);
- Reconstruction of the front porch. This proposed intervention would retain the existing ceiling and roof structure which are original. The temporary six-inch by six-inch wood posts would be removed and the original porch posts and their trimwork would be recreated to match the original as documented by photographs (see Appendix A,

Sheets, A3.1 & A3.2 as detailed under Wood and Plastics, item 6.1 and Sheet A6.1). This would include repair of the existing wood porch floor (Sheet A3.1, detailed under wood and Plastics, Item, 6.2); and

- Replace the veranda's rooftop balcony surfacing with a DEXOTEK roof system (Sheet A2.2 & SP-1).

#### Interior (first and second floors)

- Remove weak or damaged non-lead painted plaster replace with ½" gypsum board (Sheets A2.21 & A2.2);
- Remove all base moldings, crown molding and door and window trim and replace with new trimwork to match existing (Sheets A2.21 & A2.2);
- Repair wood floors and replace flooring that cannot be repaired to match original (Sheets A2.21 & A2.2);
- Repair or replace termite or dry rot damaged rim joists (Sheets A2.21 & A2.2);
- Repair or replace termite or dry rot damaged floor/wall framing (Sheets A2.21 & A2.2);
- Existing interior doors in repairable condition will be repaired. Doors too damaged to repair and missing wood panel doors will be replaced with new doors matching the surviving original doors (Appendix A, Sheets A2.1, A2.2 detail location of replacement doors & Sheet 5.1, details treatment plan delineated under "Door Types"); and
- Install new mechanical and electrical systems (Sheets M.1, M.2., E.1 & E.2).

#### Basement and Attic

- In the basement, install new mechanical and utility systems and replace existing wood stairs (Sheet A2.1);
- In the attic, repair termite or dry rot damaged flooring, wall framing and trimwork. If repair is not feasible materials will be replaced in kind (Sheet A2.2); and
- In the attic, install mechanical and utility systems (Sheet A2.2).

#### Site Improvements

- Scarify, recompact and add road base to existing driveways (Sheet A1.1); and
- Install a detached condenser unit off the house's east elevation (Sheet A1.1).
- Alter the water supply line (Sheet A1.1);

The Secretary of the Interior's Standards for Rehabilitation will be applied as a new use is proposed for the property;

**Standard 1 A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships:**

House:

Much of the damage to the house's exterior and interior occurred when the house was vacant before the property was purchased by the current owner in September of 2018. Damage was due to decades of deferred maintenance and vandalism which damaged or destroyed interior finishes and exterior architectural detailing including architectural trimwork, windows, doors, the front porch, and veranda. Several alterations were made to the existing house after its 2018 purchase but prior to preparation of this study. These included the removal of remaining fragments of the front porch (except for its roof) and veranda and replacement of the fenestration (the replacement windows were inset into the original window openings, are wood, and largely match, with the exception of the thickness of the muntins, the original windows' pattern of divided lights. Another change was the removal of sections of rotted or termite-damaged exterior wood cladding too damaged to repair.

If feasible, it would have been preferable to retain the damaged fenestration and remaining porch and veranda elements to assess the feasibility of repairing rather than replace these architectural elements. The replacement windows' 1 3/8-inch wide muntins are thicker than the originals to meet current code requirements for new windows, although they maintain the original windows' dimensions, pattern of divided lights and wood materials.

The intent of the project is to restore the exterior of the house to a close approximation of its original appearance by instituting the following measures:

- Provided the alteration to the window muntin's dimensions is a code requirement, this alteration is acceptable;
- In areas where siding has been removed, the replacement siding will match the original in material, dimension, profile, and appearance;
- The reconstructed porch and veranda will match the originals in dimension, materials, trim work details and appearance as detailed on the plan sheets. The remaining porch and veranda roof structure will be retained and repaired. The balustrades, which were greatly damaged by vandalism or destroyed, will be replaced to match the originals in dimension, material, detailing, and materials as documented by photographs taken before the porches were removed;
- The installation of a French drain and minor grading to divert water away from the house's basement and foundation, would not remove historic fabric or change the exterior appearance of the house. Therefore, this change meets Standard 1.
- Strengthening of the existing concrete foundation, is acceptable as it will not change the exterior appearance of the house.

Provided these measures are implemented, the proposed exterior alterations would meet Standard 1.

The intent of the project is to rehabilitate the interior of the house to a close approximation of its original appearance by instituting the following measures:

- The existing arrangement of rooms on the first and second floors would be preserved;
- Floors would be repaired where feasible, and replaced in-kind where deterioration precludes their repair;
- Repair existing doors where salvageable. If doors are not reparable, replacements will match the existing in material, dimension, and appearance;
- Plaster work that is repairable and not contaminated with lead would be repaired. If plaster work is too deteriorated to repair or is lead-contaminated it will be replaced with drywall finished to match the original wall surface;
- Trimwork, including casing, cornices and baseboard trim would be replaced if too deteriorated to repair. New trimwork would match the originals in material, dimension, profile, and appearance.

To ensure the repair of the house's first and second floors meets Standard 1 the following measures shall be implemented;

- The architect and contractor shall consult with a County of Ventura-approved historian to review replacement of interior trim work, architectural detailing, and doors to minimize loss of historic fabric. The intent of this measure is to maximize the retention of historic building materials, which convey the building's original appearance and historical associations; and
- The architect and contractor shall consult with a County of Ventura-approved historian to review replacement of interior plaster work. The intent of this measure is to maximize retention of wall surface materials, which help convey the building's original appearance and historical associations.

Provided the proposed project plans and the measures outlined above are implemented, the proposed interior and exterior alterations to the house would meet Standard 1.

Site Improvements:

The proposed plans would repair the existing driveways and repair water supply lines. Existing vegetation, including specimen trees, shrubs and smaller plantings would remain in-place. The existing cobblestone retaining walls would also be retained, and the barn/garage and "dairy" would be retained. Provided the project plans outlined above are implemented, the proposed interior and exterior alterations would meet Standard 1.

Summary:

Therefore, provided the project plans and measures outlined above are implemented, the proposed project would meet Standard 1.

***Standard 2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided:***

As noted above under Standard 1, much of the damage to the house's exterior and interior occurred when the house was vacant and before the property was purchased by the current owner in September of 2018. Damage was due to decades of deferred maintenance and vandalism which damaged or destroyed interior finishes and exterior architectural detailing including architectural trimwork, windows, doors, balustrades, the front porch, and veranda. Several alterations were made to the existing house after its 2018 purchase but prior to preparation of this study. These included the removal of remaining fragments of the front porch (except for its roof) and veranda and replacement of the fenestration (the replacement windows were inset into the original window openings, are wood, and mimic the original windows' pattern of divided lights). Another change was the removal of sections of rotted or termite-damaged exterior wood cladding.

As noted above, it would have been preferable to retain the original fenestration, porch, and veranda, prior to their replacement to assess their suitability for repair rather than replacement. Consequently, the removal of these features prior to assessing their condition, did not fully meet Standard 2.

Other aspects of the project, which have not been implemented would meet Standard 2 provided the measures outlined above under Standard 1 are implemented.

***Standard 3 Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken:***

The project does not propose adding conjunctural features or construction materials or elements from other historic properties. Therefore Standard 3 does not apply to the project.

***Standard 4 Changes to a property that have acquired historic significance in their own right will be retained and preserved:***

No buildings, structures, or landscape features postdating the period of significance have achieved historic significance in their own right. Therefore, Standard 4 does not apply the project.

***Standard 5 Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved:***

As noted above under Standard 1, several alterations were made to the existing house prior to the preparation of this study. These encompassed damage to historic building fabric from vandalism, and the removal of most of the surviving elements of the front porch (except for its roof) and most of the veranda and removal and replacement of the fenestration (the replacement windows, which were inset into the original window openings, are wood, and mimic the original windows' pattern of divided lights). A final change was the removal of

sections of rotted or termite-damaged exterior cladding. In the interior, some of the trim work and doors were removed or heavily damaged prior to the current owners purchase of the property in September of 2018.

It would have been preferable to retain and repair remaining original fenestration and the porch and veranda, rather than almost completely replacing them. Moreover, because these materials have already been removed, it is impossible to assess their suitability for repair rather than replacement. Consequently, the removal of remaining elements of these features, prior to an assessment of their condition did not fully meet Standard 5.

Provided the measures outlined above under Standard 1 are implemented, which are designed to maintain the historic character of the house, the implementation of the unexecuted components of the project would meet Standard 5 because they are designed to preserve remaining historic building materials to the maximum extent feasible.

***Standard 6 Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence:***

If feasible, it would have been preferable to retain and repair the original fenestration, porch, and veranda, rather than removing remaining elements of these features. Moreover, because these materials have already been removed, it is impossible to assess their suitability for repair rather than replacement. Consequently, the removal of these features prior to their assessment, did not fully meet Standard 6. To ensure consistency with Standard 6 the following measure shall be implemented:

- Provided upper window sash with thicker muntins are required to meet code requirements, the replacement window units (upper sash) whose muntin width does not match the original windows (see Figures 21 -23) are acceptable because the overall appearance of the windows in regard to material, and pattern of divided lights would match the originals.

The other aspects of the project, including the plans to restore the porch and veranda to their original appearance as documented by surviving photographs, and repair the interior would meet Standard 6 provided the project plans and guidance outlined under Standard 1 are implemented to ensure the preservation and repair of remaining historic building materials where feasible.

***Standard 7 Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used:***

Treatments such as paint removal or repainting shall follow the guidance set forth in Preservation Brief 6: "Danger of Abrasive Cleaning to Historic Buildings," Preservation Brief 10: "Exterior Paint Problems on Exterior woodwork," and Preservation Brief 28 "Painting Historic Interiors." Provided this guidance is followed, the proposed project would meet Standard 7.

**Standard 8 Archaeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken:**

The application of this criterion to archaeological deposits is beyond the purview of this report.

**Standard 9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment:**

The project does not propose additions to the building or altering the existing layout of interior spaces. Unimplemented exterior alterations are designed to return the building's interior and exterior to a close approximation of their original appearance by restoring the porch and veranda to their original appearance. As noted above, under Standards 1, 2 5, and 6, it would have been preferable to repair remaining original fenestration and elements of the porch and veranda to preserve more of the building's original construction materials. However, because the replacement fenestration and recreated porch and veranda would closely matches the originals in design and materials as well as maintaining the original arrangement of window and door openings and other architectural features, the impact of these changes would be reduced to an acceptable level if the guidance set forth under Standard 1 is implemented.

Therefore, because the essential character of the house and surrounding property would be preserved by restoring the exterior of the house to a close approximation of its original appearance, the proposed project meets Standard 9.

**Standard 10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired:**

The applicant does not propose additions to the house or the construction of additional buildings or structures on the property. The proposed installation of a condenser off the house's east elevation is modest in scope and fully reversible as it would not be attached to house. Therefore, the proposed project meets Standard 10.

### **Analysis of Project-Specific Impacts under CEQA**

Provided the current project plans are implemented with the guidance in this report (see Section 8) are implemented, the house and surrounding property would maintain their eligibility for listing at the County of Ventura, State and National levels.

## **8.0 SUMMARY STATEMENT OF SIGNIFICANCE AND IMPACTS**

The current study finds that 8442 Santa Ana Road (APN 060-0-220-150), which encompass an American Colonial Revival style house built by the Waterhouse family that was later the home of Orville Nye, a local farmer and real estate developer and its related buildings, structures,

features and landscaping, are a historic district with definable boundaries that is eligible for listing in the California Register of Historical Resources, the National Register of Historic Places and its designation as a County of Ventura Landmark.

The project would rehabilitate the existing house and proposes the permitting of several as-built alteration to the house, including replacement of the fenestration. While replacement of the windows did not fully meet Standards 1, 2, 5, or 6, implementation of the proposed project plans and the following measures would return the exterior of the house and the interior to a close approximation of its original appearance. After implementation of these measures, project impacts would be reduced to an acceptable level (see below). Provided these measures are implemented, the issuance of a Certificate of Approval is recommended. If the measures are not implemented, issuance of a Certificate of Approval is not recommended as project impacts would remain significant.

- Retain the replacement window sash if they are required for code compliance;
- The architect and contractor shall consult with a County of Ventura-approved historian to review replacement of interior trimwork, architectural detailing, and doors to minimize further loss of historic fabric. The intent of this measure is to maximize the retention of historic building materials, which convey the building's original appearance and historical associations;
- The architect and contractor shall consult with a County of Ventura-approved historian to review replacement of interior plaster work. The intent of this measure is to maximize the retention of wall surface materials, which help convey the building's original appearance and; and such as paint removal or repainting as well as any repairs to brick masonry, shall follow the guidance set forth in Preservation Brief 6: "Danger of Abrasive Cleaning to Historic Buildings," Preservation Brief 10: "Exterior Paint Problems on Exterior woodwork," Preservation Brief 28 "Painting Historic Interiors," and Preservation Brief 2 "Repointing Mortar Joints in Historic Masonry Buildings."

## 9.0 PHOTOGRAPHS



**Figure 1, Aerial photograph depicting Existing Improvements (Google Earth)**



**Figure 2, South Elevation with barn/garage to left, existing conditions**



**Figure 3, South Elevation, existing conditions**



**Figure 4, South Elevation, existing conditions**



**Figure 5, South Elevation, front porch, existing conditions**



**Figure 6, South Elevation, detail of porch and foundation, existing conditions**



**Figure 7, South Elevation, detail of cladding, existing conditions**



**Figure 8, South Elevation, detail of replacement fenestration, existing conditions**



**Figure 9, South Elevation, detail of veranda roof, existing conditions**



**Figure 10, South Elevation, detail of the east end of the elevation, existing conditions**



**Figure 11, North Elevation, existing conditions**



Figure 12, North Elevation, detail of the west end of the elevation, existing conditions



**Figure 13, North Elevation, detail of veranda, existing conditions**



**Figure 14, North Elevation, detail of the east end of the elevation, existing conditions**



**Figure 15, East Elevation, existing conditions**



**Figure 16, East Elevation, detail of door opening into service wing**



**Figure 17, East Elevation, existing conditions**



**Figure 18, West Elevation, existing conditions**



**Figure 19, West Elevation, existing conditions**



**Figure 20, West Elevation, detail of veranda , existing conditions**



**Figure 21, South Elevation before removal of porch and veranda and replacement of fenestration (photograph appears to date to the early to mid-2000s)**



**Figure 22, South Elevation before removal of porch and veranda and replacement of fenestration (photograph appears to date to the late 1990s or early 2000s)**



**Figure 23, West Elevation before removal of porch and veranda and replacement of fenestration (taken sometime in the 2000s)**



**Figure 24, Barn/Garage, South Elevation, existing conditions**



**Figure 25, Barn/Garage, South Elevation, existing conditions**



**Figure 26, Barn/Garage, East Elevation, existing conditions**



**Figure 27, Barn/Garage, North Elevation, existing conditions**



**Figure 28, Barn/Garage, West Elevation, existing conditions**



**Figure 29, "Dairy," North and East Elevations, existing conditions**



**Figure 30, "Dairy," West Elevation, existing conditions**



**Figure 31, "Dairy," South and West Elevations with house in background, existing conditions**



Figure 32, View from the house's south elevation towards Foster Park, existing conditions



**Figure 33, Looking northwest towards Santa Ana Road, existing conditions**



**Figure 34, Looking east towards the Ventura River, existing conditions**



**Figure 35, Looking east towards the Ventura River, existing conditions**



**Figure 36, Looking northwest from the driveway to Santa Ana Road, existing conditions**



Figure 37, Terraces off the south side of the house, looking north, existing conditions



**Figure 37, Terraces off the south side of the house, looking east, existing conditions**



**Figure 38, Terraces off the south side of the house, with detail of retaining wall and concrete steps, looking east, existing conditions**



**Figure 39, Terraces off the south side of the house, with detail of retaining wall and concrete steps, looking east, existing conditions**



**Figure 40, East end of the terraces off the south side of the house, existing conditions**



**Figure 41, South Elevation of Pine Cottage (east end)**



**Figure 42, Remnants of designed landscape off the house's north elevation, existing conditions**



**Figure 43, Project Property in 1929 (Flight C-431\_a-17, Feb. 1, 1929, Map and Imagery Collection, University of California, Santa Barbara)**



Figure 44, Project Property in 1938 (Flight ax-1938\_63-11, May 9, 1938, Map and Imagery Collection, University of California, Santa Barbara)



Figure 45, Project Property in 1941 (Flight C-7046\_110, April 3, 1941, Map and Imagery Collection, University of California, Santa Barbara)



**Figure 46, Project Property in 1959 (Flight axi\_1959-20w-62, August 3, 1959, Map and Imagery Collection, University of California, Santa Barbara)**



**Figure 47, Project Property in 1984 (Flight pw-ven-4\_178, 1984, Map and Imagery Collection, University of California, Santa Barbara)**



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# APPENDIX A

## Project Plans

# APPENDIX B

Dovecreek Letter

August 12, 2020



08/12/2020.

RE: Nye Ranch Window Muttin Size  
Estrada Job No. 1237-19  
Dovecreek Job No. E8932

Dear Mike,

In regards to the muttin size used for the windows. It was determined that 1-3/8" was the minimum muttin size required to maintain the structural integrity of the windows considering the thickness of the code compliant glazing used.

Arturo Ruiz  
President,  
Dovecreek Wood Products

3519 Main St. Suite #402, Chula Vista, CA 91911

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